

MARK STEWART
HOME DESIGN

Mark Stewart

22582 SW MAIN ST.
DESIGN SUITE 309
SHERWOOD, OR 97140

(503) 701.4888 P

www.markstewart.com

Mark Stewart
Authentic Mark Stewart Original Design
Accept no substitutes

Stock Home Plans
Custom Design
Builder Marketing
Interior Design

Since 1982

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by Mark G. Stewart and Mark
Stewart & Associates Inc. 2006

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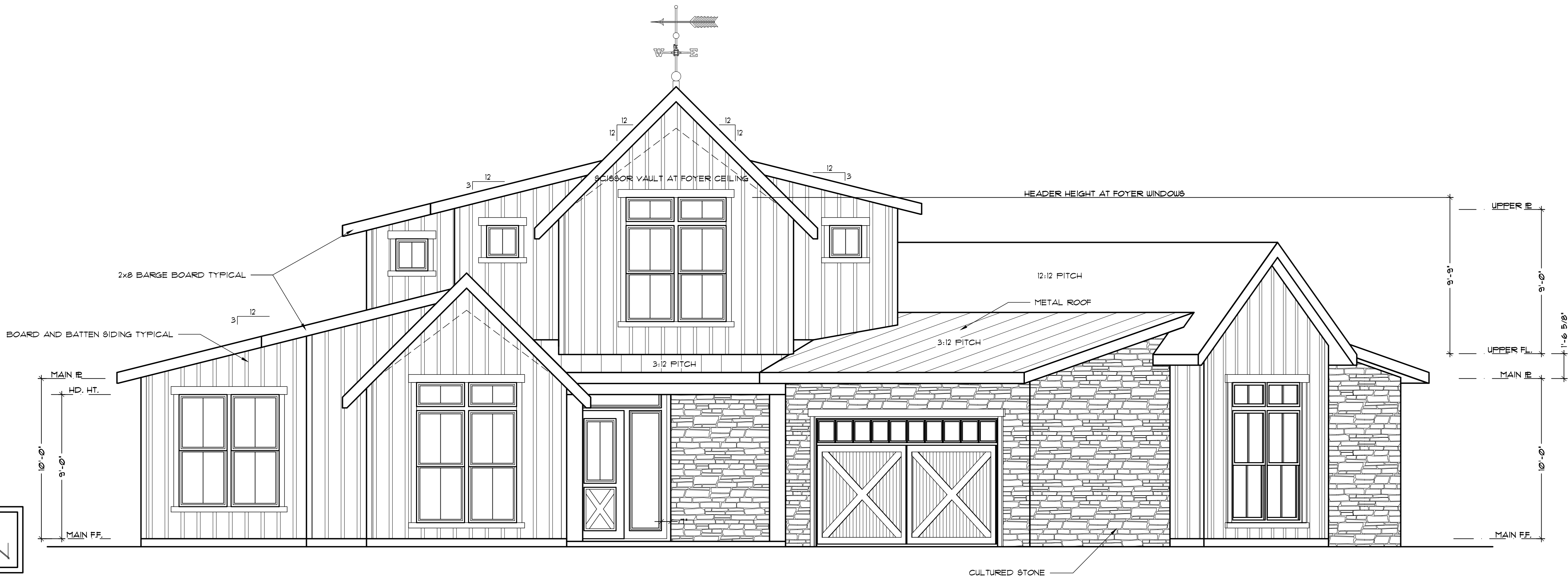
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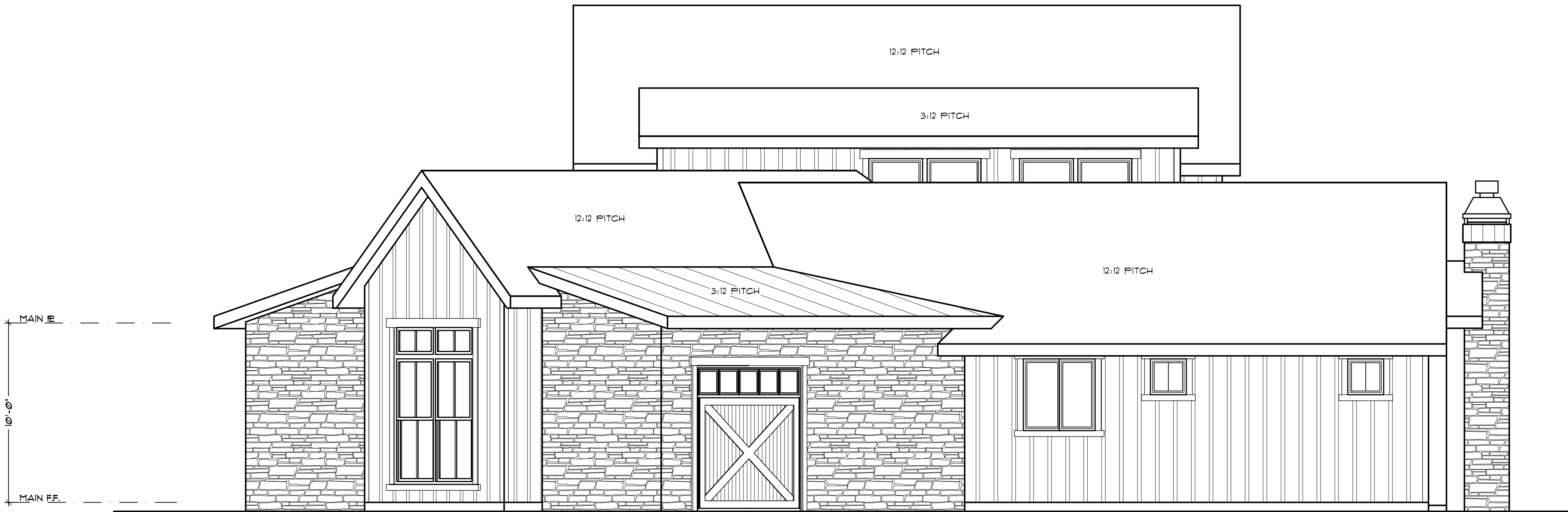


FRONT ELEVATION

SCALE: 1/4"=1'-0"

HOME SQUARE FOOTAGE

MAIN FLOOR = 2204 SQ. FT.
UPPER FLOOR = 490 SQ. FT.
TOTAL = 2694 SQ. FT.
+ GARAGE = 116 SQ. FT.



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

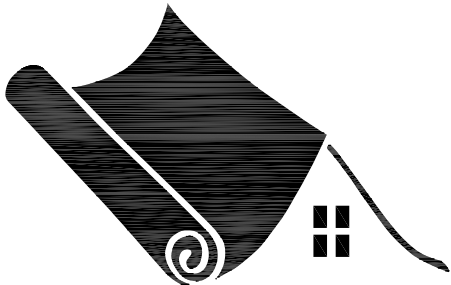
CONTRACTOR TO
SELECT ONE OPTION

TABLE N1104.1(2) ADDITIONAL MEASURES

ENVELOPE ENHANCEMENT MEASURE (SELECT ONE)	1	HIGH EFFICIENCY WALLS: EXTERIOR WALLS---U-0.045/R-21 CAVITY INSULATION + R5 CONTINUOUS
	2	UPGRADED FEATURES: EXTERIOR WALLS---U-0.051/R-23 INTERMEDIATE OR R-21 ADVANCED, FRAMED FLOORS---U-0.026/R-38, AND WINDOWS---U-0.28 (AVERAGE UA)
	3	UPGRADED FEATURES: EXTERIOR WALLS---U-0.055/R-23 INTERMEDIATE OR R-21 ADVANCED, FLAT CEILING---U-0.011/R-60, AND FRAMED FLOORS---U-0.026/R-38
	4	SUPER INSULATED WINDOWS AND ATTIC OR FRAMED FLOORS: WINDOWS---U-0.22 (TRIPLE PANE LOW-e), AND FLAT CEILING---U-0.011/R-60, OR FRAMED FLOORS---U-0.026/R-38
	5	AIR SEALING HOME AND DUCTS: MANDATORY AIR SEALING OF ALL WALL COVERINGS AT TOP PLATE AND AIR SEALING CHECKLIST, AND MECHANICAL WHOLE BUILDING VENTILATION SYSTEM WITH RATES MEETING M1503 OR ASHRAE 62.2, AND ALL DUCTS AND AIR HANDLERS CONTAINED WITHIN BUILDING ENVELOPE*OR ALL DUCTS SEALED WITH MASTIC*
	6	HIGH EFFICIENCY THERMAL ENVELOPE UA* PROPOSED UA IS 8% LOWER THAN THE CODE UA

CONSERVATION MEASURE (SELECT ONE)	A	HIGH EFFICIENCY HVAC SYSTEM* GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 94%, OR AIR SOURCE HEAT PUMP HSPF 9.5/15.0 SEER COOLING, OR GROUND SOURCE HEAT PUMP COP 3.5 OR ENERGY STAR RATED
	B	DUCTED HVAC SYSTEMS WITHIN CONDITIONED SPACE: ALL DUCTS AND AIR HANDLERS CONTAINED WITHIN BUILDING ENVELOPE* *cannot be combined with measure 5*
	C	DUCTLESS HEAT PUMP: DUCTLESS HEAT PUMP HSPF 10.0 IN PRIMARY ZONE OF DWELLING
	D	HIGH EFFICIENCY WATER HEATER* NATURAL GAS/PROPANE WATER HEATER WITH UEF 0.85 OR ELECTRIC HEAT PUMP WATER HEATER TIER 1 NORTHERN CLIMATE SPECIFICATION PRODUCT

- For 91.1 square foot=0.093 m², 1 watt per square foot= 10.8 W/m².
- A. Appliances located within the building thermal envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
- B. All duct joints and seams sealed with listed mastic tape is only allowed at appliance or equipment connections (for service or replacement). Meet sealing criteria of Performance Tested Comfort Systems program administered by the Bonneville Power Administration (BPA).
- C. Residential water heaters less than 55 gallon storage volume.
- D. A total of 5% of an HVAC system's ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside the conditioned space shall have insulation installed as required in this code.
- E. The maximum vaulted ceiling surface area shall not be greater than 50% of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.
- F. Continuous air barrier. Additional requirement for sealing of all interior vertical wall covering to top plate framing. Sealing with foam gasket, caulk or other approved sealant listed for sealing wall covering material to structural material (example: gypsum board to wood stud framing).
- G. Table N1104.1(1) Standard base case design, Code UA shall be at least 8% less than the Proposed UA. Buildings with fenestration less than 15% of the total vertical wall area may adjust the Code UA to have 15% of the wall area as fenestration.



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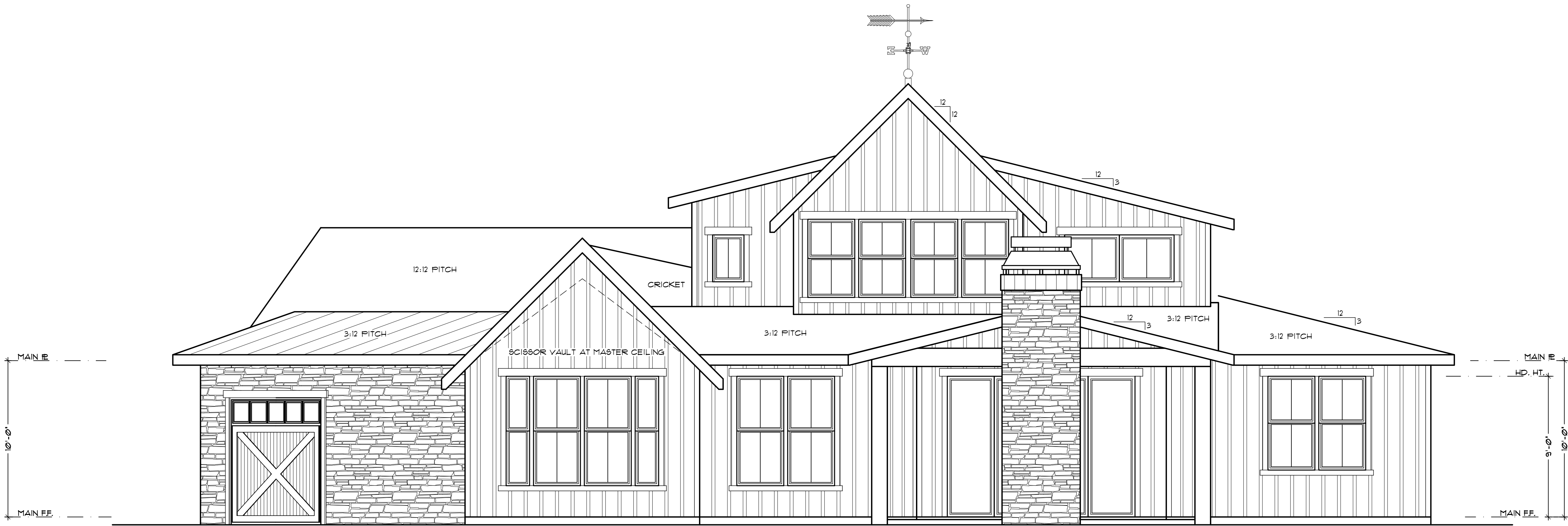
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REAR ELEVATION

SCALE: 1/4"=1'-0"

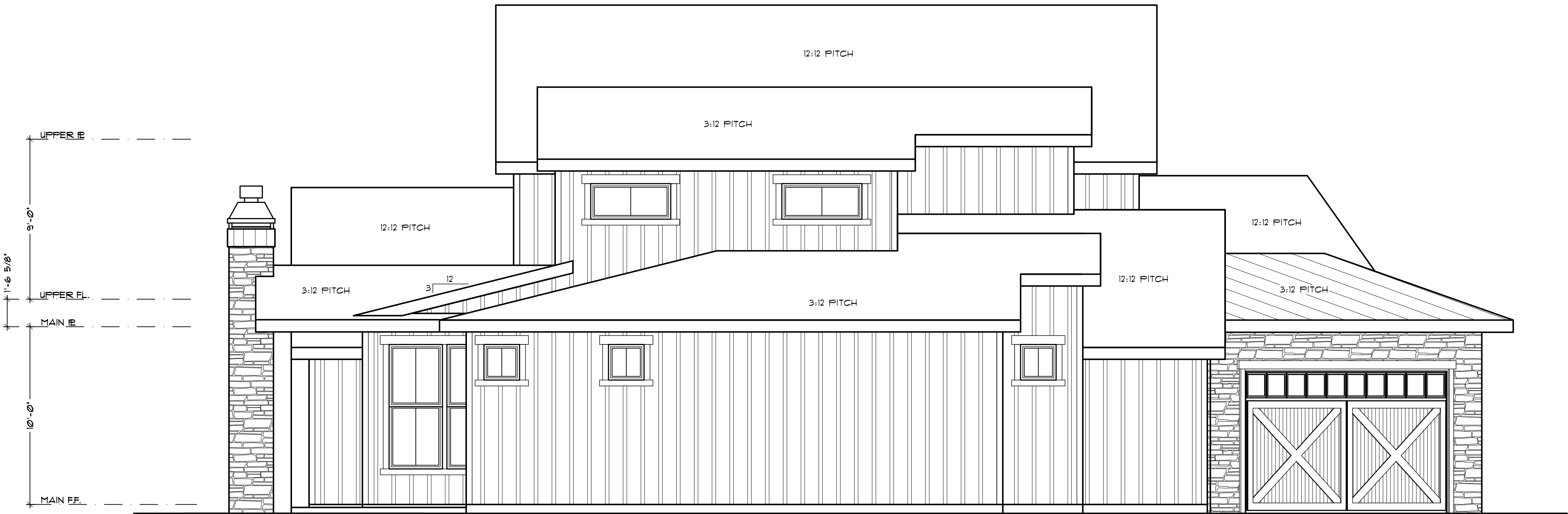
GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE 2011 OREGON RESIDENTIAL SPECIALTY CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- DESIGN LOADS:

ROOF	30 PSF (LIVE LOAD)
FLOOR	40 PSF
STAIRS	40 PSF
GARAGE FLOOR	50 PSF (2000# FT.)
DECKS	60 PSF
HANDRAILS	200 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)
- INSULATION:

ROOF (VAULTED)	R-30
ROOF (FLAT)	R-49
WALLS (EXTERIOR)	R-21
FLOOR (OVER UNHEATED SPACE)	R-38
BASEMENT WALLS (INT. OR EXT.)	R-15
SLAB ON GRADE	R-15
FURNACE DUCTS (UNHEATED SPACE)	R-8
MIN. WINDOW U RATING	U28
- THE ABOVE VALUES ARE A MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.
- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- ROOFING: COMPOSITION ROOFING PER OWNERS/BUILDERS SPECIFICATIONS, U.N.O., ON FELT ON 1/2" CDX PLYWOOD SHEATHING ON ROOF FRAMING PER PLAN.
- SIDING: 1/2"x6" HARDI SIDING ON APPROVED VAPOR BARRIER ON 1/2" CDX PLYWOOD OR EQUAL. (CAULK JOINTS BETWEEN CORNER BOARDS W/ VULKEM POLYURETHANE) ON 2x6 STUDS @ 16" O.C. PROVIDE R-21 OR GREATER INSULATION AT ALL EXTERIOR WALLS.
- 5/4 CEDAR CORNER BOARDS AT CEDAR SIDING.
- G1 FASCIA GUTTER . PROVIDE DOWNSPOUTS SUFFICIENT TO DRAIN ROOF AND DISPOSE OF THROUGH APPROVED RAIN DRAIN DISPOSAL SYSTEM.



LEFT ELEVATION

SCALE: 1/4"=1'-0"

FOUNDATION NOTES AS APPLIES

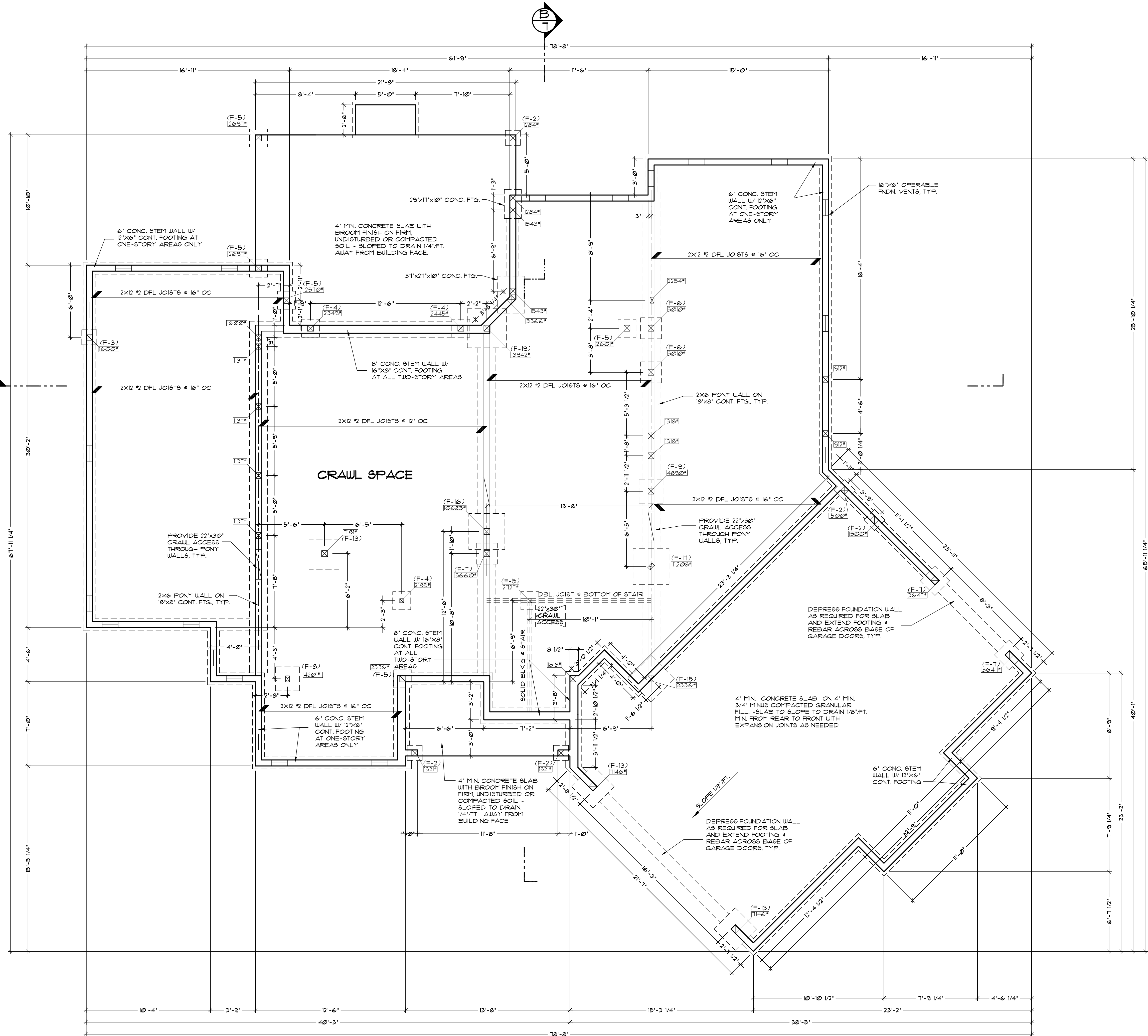
1. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
2. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
3. ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
4. CONCRETE:
 - BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER : 2500 PSI
 - BASEMENT & INTERIOR SLABS ON GRADE : 2500 PSI
 - BASEMENT WALLS & FOUNDATIONS EXPOSED TO THE WEATHER : 3000 PSI
 - PORCHES, STEPS & CARPORT SLABS EXPOSED TO WEATHER : 3500 PSI
5. CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25 FT. (MAXIMUM) INTERVALS EACH WAY.
6. CONCRETE SIDEWALKS TO HAVE 1/2" TOOLED JOINTS AT 5 FT. (MINIMUM) OC.
7. REINFORCING STEEL TO BE A-615 GRADE 40, WELDED WIRE MESH TO BE A-105.
8. EXCAVATE SITE TO PROVIDE A MINIMUM OF 18 IN. CLEARANCE UNDER ALL GIRDERS OR JOISTS.
9. COVER ENTIRE CRAWL SPACE WITH 6 MIL BLACK "VISQUEEN" AND EXTEND UP FOUNDATION WALLS A MIN. OF 12".
10. PROVIDE A MINIMUM OF 1 SQ. FT. OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA. VENTS ARE TO BE OPERABLE WITH 1/4 IN. MESH CORROSION RESISTANT SCREEN.
11. ALL WOOD IN CONTACT WITH CONCRETE TO BE TREATED OR NATURALLY DECAY RESISTANT OR PROTECTED WITH 55# ROLL ROOFING, MIN.
12. BEAM POCKETS IN CONCRETE TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3 INCHES.
13. PROVIDE CRAWL SPACE LOW POINT DRAIN PER CODE.
14. USE 4" CMU, BELOW GRADE AT STONE VENEER AREAS. WIDEN FOOTING 6" AT VENEERED AREAS. - SEE PLAN FOR LOCATION.
15. PROVIDE 2X TREATED MUD SILL WITH 1/2" A.B. @ 48" OC, UNO, W/ A MIN. OF 2-PER FL. AND WITHIN 12" OF EACH CORNER.
16. BLOCK OUT FOR FURNACE AS/IF REQUIRED.
17. PROVIDE 18"x24" CRAWL SPACE ACCESS MIN. - SEE PLAN FOR LOCATION.
18. WHERE 8" STEMWALL IS USED PROVIDE A 16"x8" CONT. FTG. W/ (2)- #4 BARS CONT. & 3" CLEAR TO BOTTOM @ SIDES, UNO.
19. WHERE 6" STEMWALL IS USED PROVIDE A 12"x6" CONT. FTG. W/ (2)- #4 BARS CONT. & 3" CLEAR TO BOTTOM @ SIDES, UNO.

FOOTING SIZE CHART:

FTG. #	LOAD	FTG. SIZE	REBAR
(F-1)	1,000*	12"x12"x10"	(2) #4 E/W
(F-2)	1,500*	15"x15"x10"	(2) #4 E/W
(F-3)	2,000*	15"x15"x10"	(2) #4 E/W
(F-4)	2,500*	18"x18"x10"	(2) #4 E/W
(F-5)	3,000*	18"x18"x10"	(2) #4 E/W
(F-6)	3,500*	21"x21"x10"	(3) #4 E/W
(F-7)	4,000*	21"x21"x10"	(3) #4 E/W
(F-8)	4,500*	24"x24"x10"	(3) #4 E/W
(F-9)	5,000*	24"x24"x10"	(3) #4 E/W
(F-10)	5,500*	27"x27"x10"	(3) #4 E/W
(F-11)	6,000*	27"x27"x10"	(3) #4 E/W
(F-12)	7,000*	30"x30"x10"	(4) #4 E/W
(F-13)	8,000*	30"x30"x10"	(4) #4 E/W
(F-14)	9,000*	33"x33"x12"	(5) #4 E/W
(F-15)	10,000*	33"x33"x12"	(5) #4 E/W
(F-16)	11,000*	36"x36"x12"	(5) #4 E/W
(F-17)	12,000*	36"x36"x12"	(5) #4 E/W
(F-18)	13,000*	39"x39"x12"	(5) #4 E/W
(F-19)	14,000*	39"x39"x12"	(5) #4 E/W
(F-20)	15,000*	42"x42"x12"	(6) #4 E/W
(F-21)	16,000*	42"x42"x12"	(6) #4 E/W
(F-22)	17,000*	45"x45"x12"	(6) #4 E/W
(F-23)	18,000*	45"x45"x12"	(6) #4 E/W

RADON MITIGATION

Install a passive sub-membrane depressurization system for Radon Gas mitigation. Install a 3 or 4" Tee fitting under the vapor barrier that connects to a pipe running vertically through the house and terminating through the roof. As part of this mitigation solution also seal all openings/penetrations between the floor level and the crawl space. All ductwork in crawl space to be performance tested. Vapor Barrier to be sealed where penetrated. Crawl space access to be gasketed. Ventilation openings shall comply with Section R402.1. Operable louvers, dampers, or other means to temporarily stop the ventilation shall not be permitted.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



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MISCELLANEOUS NOTES

1. EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44 IN. ABOVE THE FINISH FLOOR.
2. ALL WINDOWS WITHIN 18 IN. OF THE FLOOR, AND WITHIN 24 IN. OF A PARALLEL TO THE STRIKE SIDE OF A DOOR ARE TO HAVE TEMPERED GLAZING.
3. SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS FLEXIGLAS); GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2X CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.
4. ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
5. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1/2 IN. DEAD BOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54 - 66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
6. CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTER-CONNECT EACH ONE SO THAT WHEN ANY ONE IS TRIPPED THEY WILL ALL SOUND.
7. PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPERS) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
8. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR EXCHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
9. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

4x10 HEADER UNLESS OTHERWISE NOTED.
EXCEPTION 1: 4x8 #2 DFL. MAY BE USED @ GABLE ENDS OF TRUSSED ROOFS ON UPPER FLOOR. WINDOW OPENINGS NOT EXCEEDING 6'-0" IN WIDTH & WITH NO POINT LOADS.
EXCEPTION 2: 4x10 #2 DFL. HEADERS MAY BE USED @ MAIN FLOOR OPENINGS ON GABLE ENDS, THAT DO NOT EXCEED 6'-0", AND DO NOT HAVE POINT LOADS ON THEM.

PROVIDE CAULKING UNDER ALL SILL PLATES AT EXTERIOR PERIMETER OF HOUSE

- SEAL ALL WALL AND FLOOR PENETRATIONS FROM ELECTRICAL, PLUMBING, AND MECHANICAL COMPONENTS PER CODE
- VERIFY ALL FLOOR JOISTS BREAK ONLY OVER 2X STUD BEARING WALLS OR BEAMS

☒ = BEARING LOCATION @ WALL. USE MULTIPLE STUDS UNO.

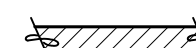
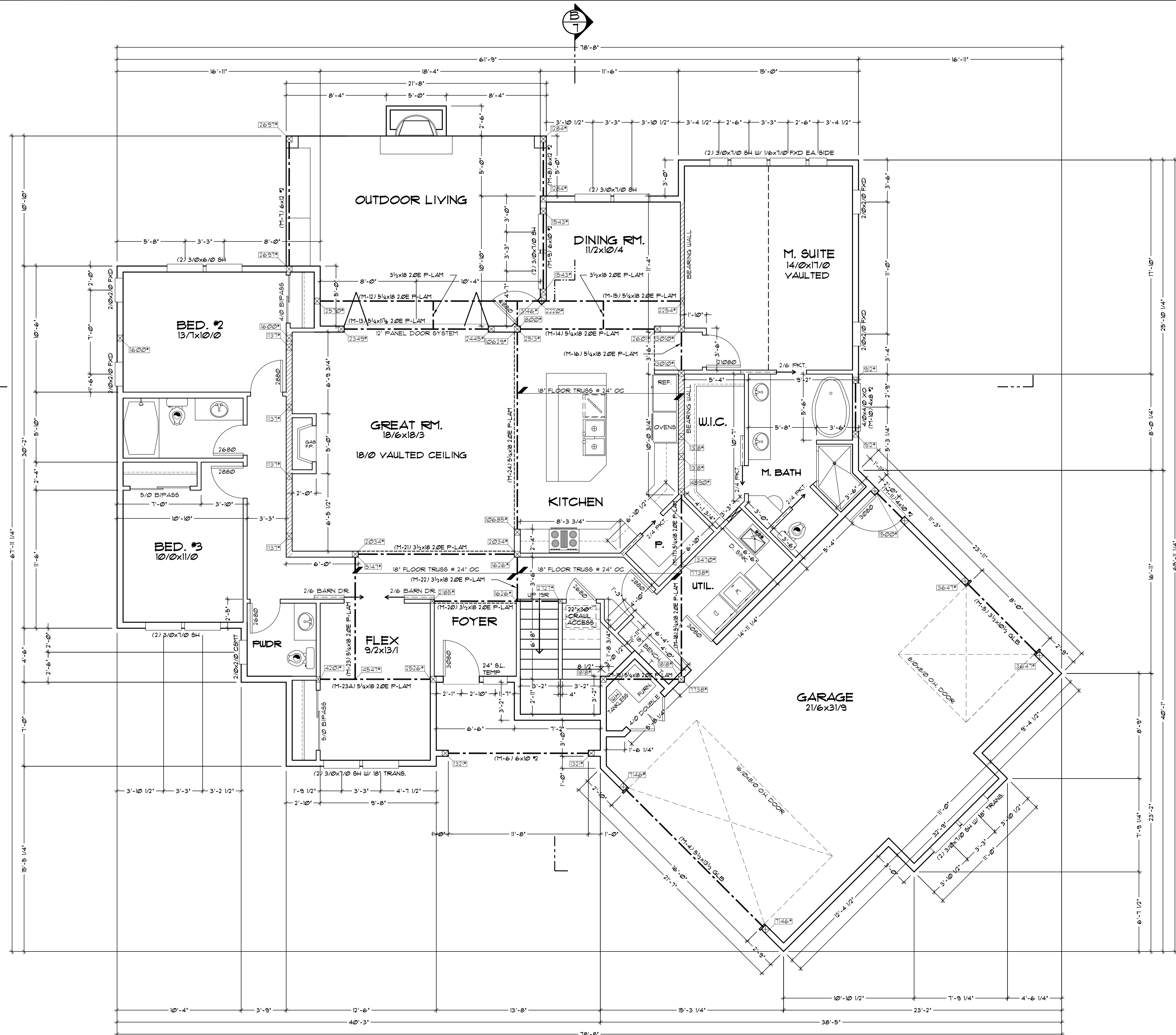
 DENOTES INTERIOR BEARING WALL

FIG. #	LOAD	SIZE
(P-1)	2,536#	(2) 2x6 #2
(P-2)	3,286#	(2) 2x6 #1
(P-3)	8,054#	(3) 2x6 #2
(P-4)	10,254#	(3) 2x6 #1
(P-7)	10,421#	4x6 #2
(P-10)	4,721#	4x4 #1
(P-11)	4,521#	4x4 #2
(P-12)	15,066#	6x6 #2
(P-13)	20,083#	6x8 #2



MAIN FLOOR PLAN

MAIN FLOOR 2,204 SQ. FT.



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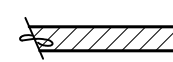
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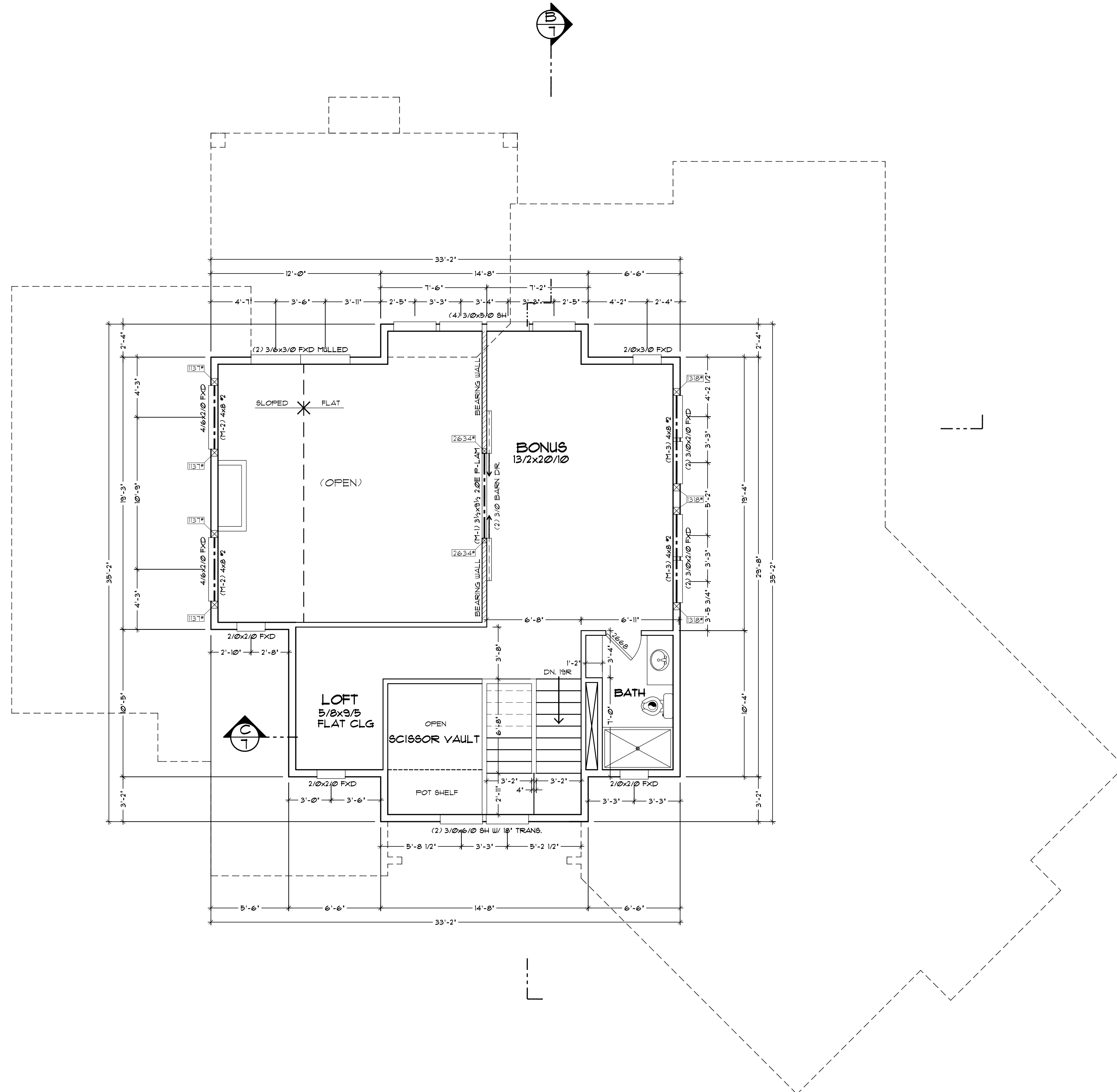
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☒ = BEARING LOCATION @ WALL USE MULTIPLE STUDS UNO.

 DENOTES INTERIOR BEARING WALL

FTG. #	LOAD	SIZE
(P-1)	2536*	(2) 2x6 W
(P-2)	3286*	(2) 2x6 W
(P-3)	8054*	(3) 2x6 W
(P-4)	10054*	(3) 2x6 W
(P-5)	17042*	4x6 W
(P-6)	4121*	4x4 W
(P-7)	4521*	4x4 W
(P-8)	15066*	6x6 W
(P-9)	20089*	6x8 W



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1. ROOFING: GOMF, OR STANDING SEAM METAL ROOFING PER OWNER'S/ BUILDER'S SPECIFICATIONS. INSTALL PER MANUFACTURER'S SPEC. ON NOM. 1/2" CDX FLUID. SHEATHING ON ROOF FRAMING PER PLAN.
2. ROOF FITCHES: AS NOTED ON PLANS
3. EAVE OVERHANGS AS NOTED ON PLANS
4. PROVIDE 2X SOLID BULK WITH 2X12 SCREENED VENTS AT 6'-0" O.C. MIN. OR IF SOFFIT IS INSTALLED - USE 1/2" X4" VENTED SOFFIT - SEE PLAN
5. PROVIDE INSULATION BAFFLE AT EAVE VENTS.
6. ROOF VENTILATION (MIN. AREA): THE TOTAL NET VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300 PROVIDED THAT AT LEAST 16% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC SPACE. RAFTER SPACE, UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH NOT LESS THAN 16% OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1 TO 300 TO A VARIATION BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERFT IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING - EAVE OR CORNICE VENTS.
7. INSULATION: INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.
8. ROOF ACCESS: (ACCESSIBLE ATTIC ACCESS): A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22 INCHES BY 30 INCHES SHALL BE PROVIDED TO ANY ATTIC AREA WITH A CLEARANCE OF 30 INCHES BY 30 INCHES - SEE FLOOR PLANS FOR LOCATIONS

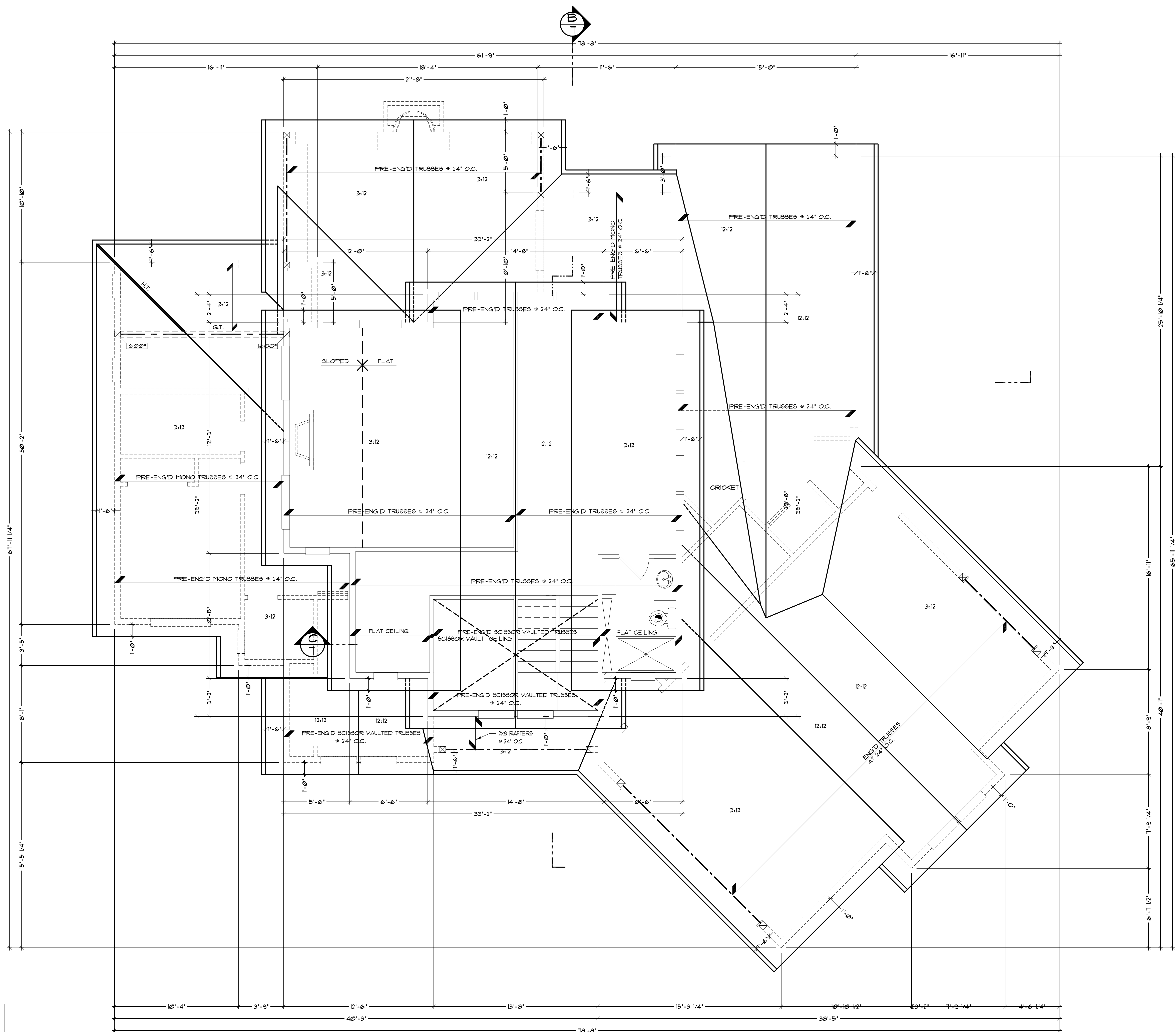
 = OVERLAY AREA W/
2x8 @24" O.C.

 = BEARING WALL

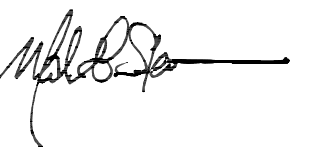
DEPENDING ON TRUSS DESIGN - OVERBUILD
AREAS MAY OCCUR IN SOME AREAS - USE
2x8 DF #2 JOISTS AT 24" O.C. AS NEEDED TO
CREATE ROOF LINES AS SHOWN ON PLANS
UNLESS OVERBUILD AREAS ARE DESIGNED
W/ TRUSSES PER TRUSS MANUFACTURER

LOAD IN LBS.

LOCATION OF POINT LOAD, BEARING AT WALL OR ON BEAM, TRANSFERRED FROM GIRDER TRUSS END REACTIONS.



ROOF FRAMING PLAN



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PAGE

STAIR & GUARDRAIL NOTES:

STAIRWAYS: WIDTH: STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. THE MINIMUM WIDTH AT AND BELOW THE HANDRAIL HEIGHT SHALL NOT BE LESS THAN 32 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 28 INCHES WHERE WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

TREADS & RISERS: THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE WALKING SURFACE OF TREADS AND LANDINGS OF A STAIRWAY SHALL BE SLOPED NO STEEPER THAN ONE VERTICAL IN 48 UNITS HORIZONTAL (2% SLOPE). THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.

PROFILE: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 3/16 INCH. A NOSING NOT LESS THAN 3/4 INCH BUT NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. BEVELING OF NOSING SHALL NOT EXCEED 1/2 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. * EXCEPTION: A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11 INCHES.

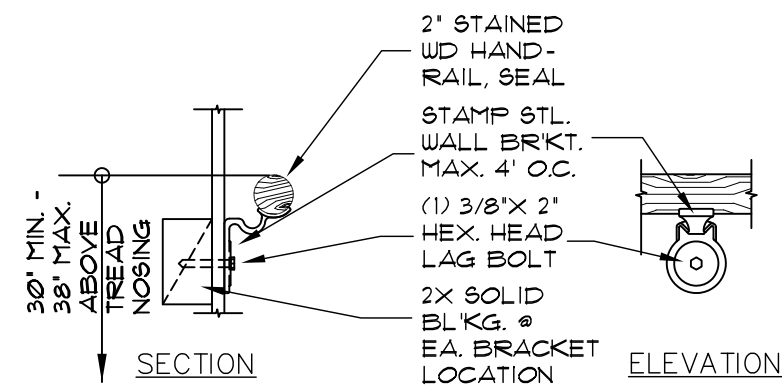
HEADROOM: THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.

ILLUMINATION: ALL STAIRS SHALL BE PROVIDED WITH ILLUMINATION PER CODE.

HANDRAILS: HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 30 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

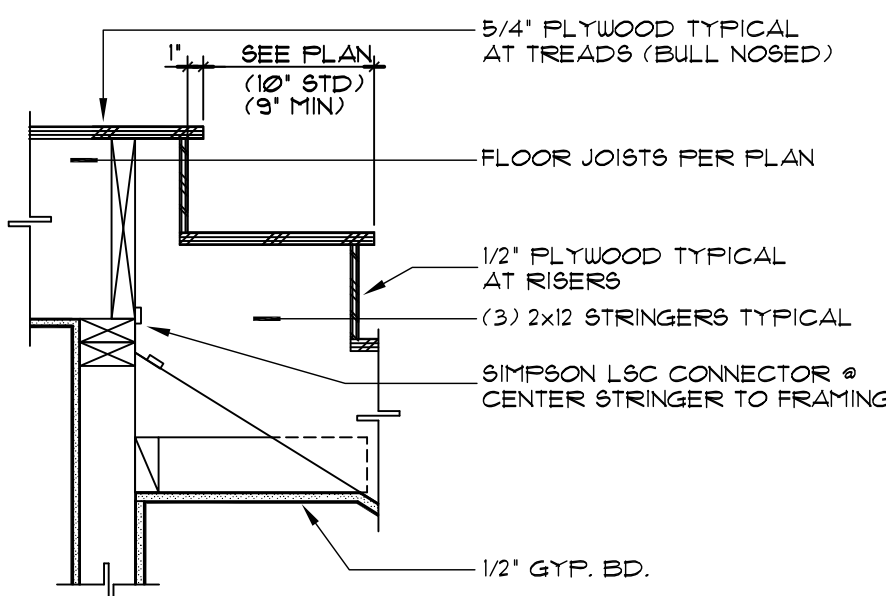
EXCEPTIONS:
1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN.
2. THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.

GUARDRAIL DETAILS: PORCHES, BALCONIES OR RAISED FLOOR FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD-RAILS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.



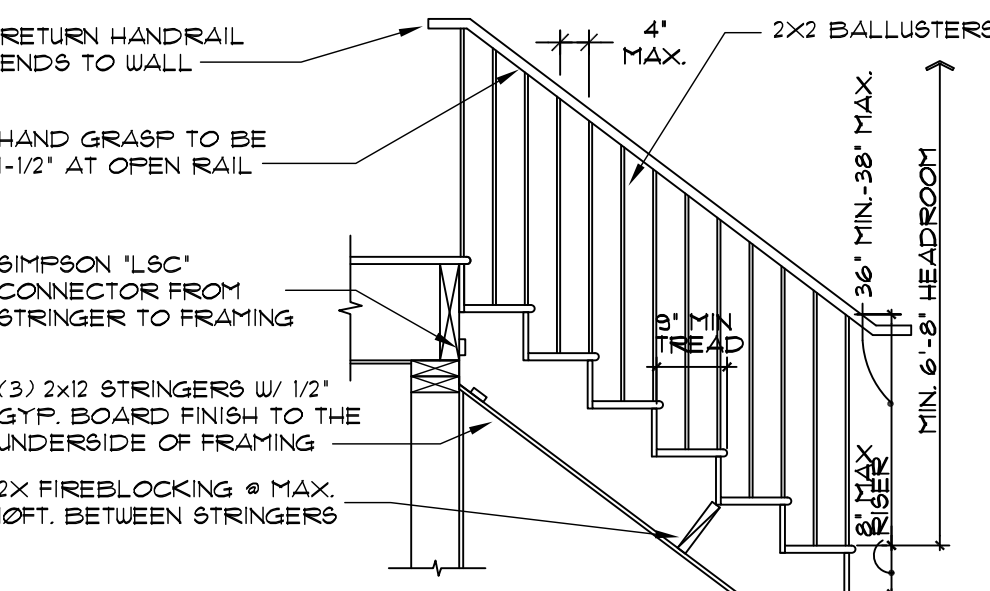
STAIR RAIL

N.T.S.



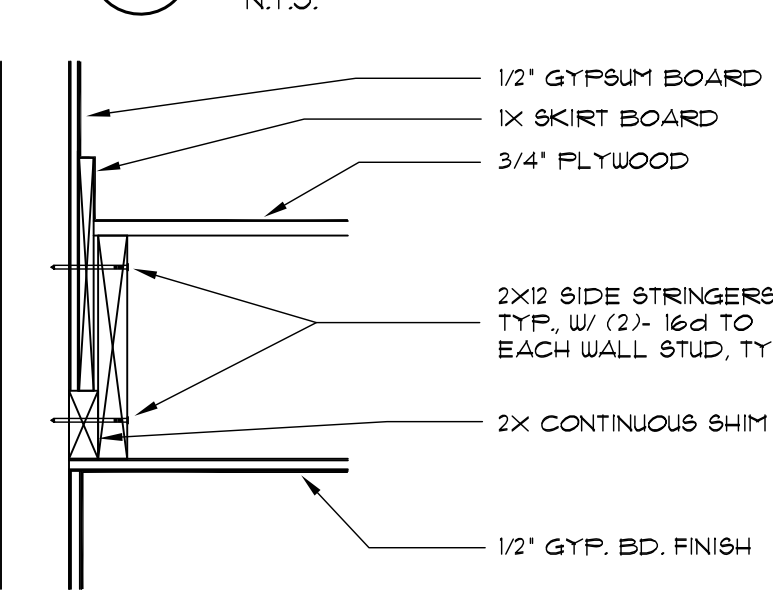
STRINGER TO LANDING

N.T.S.



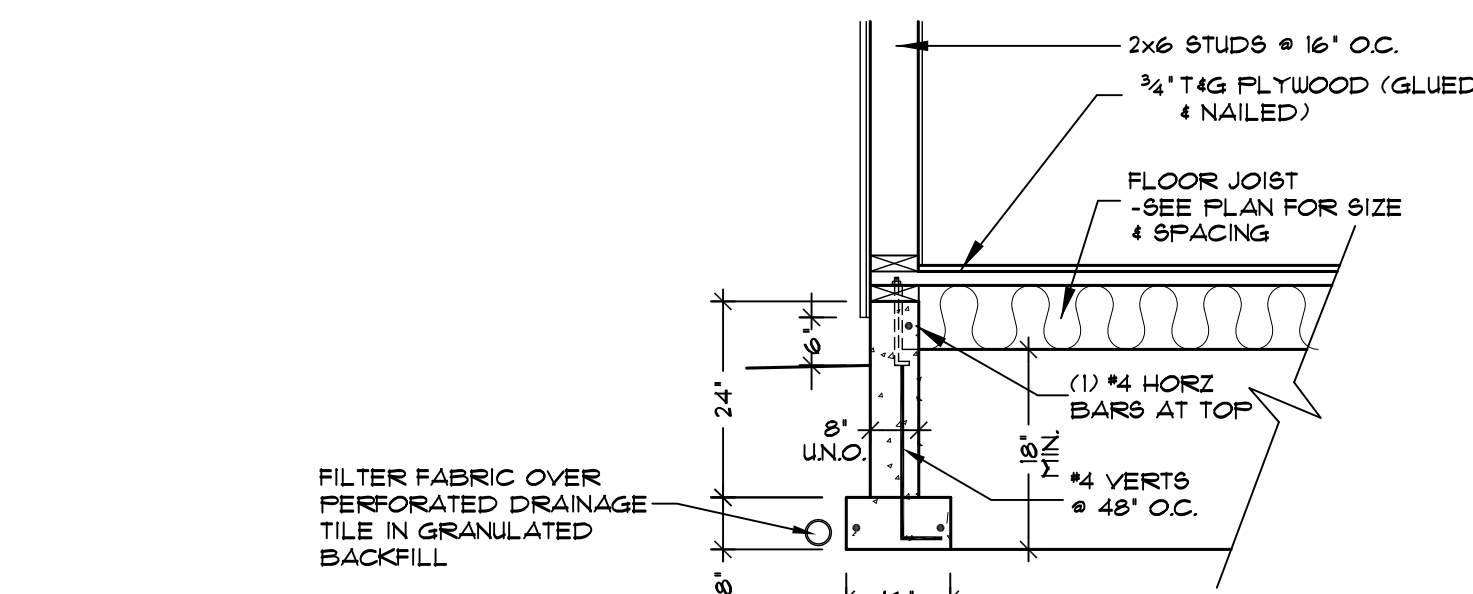
STAIR SECTION

N.T.S.



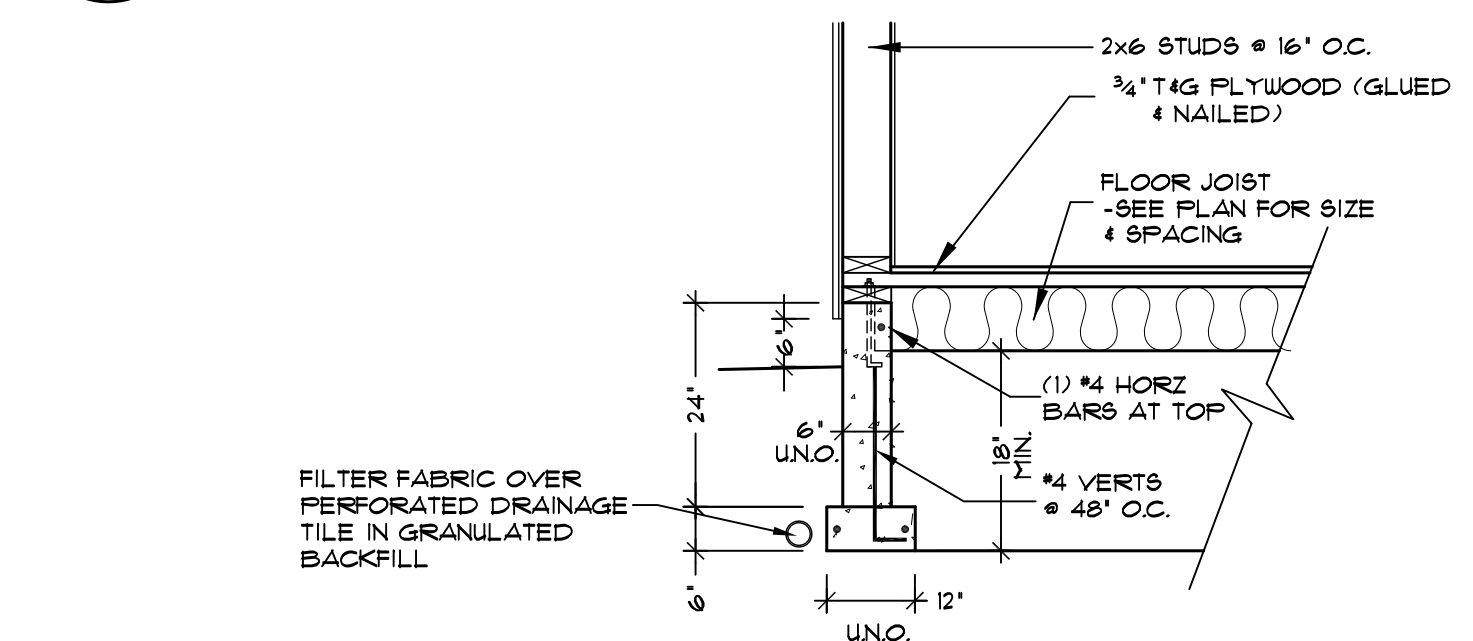
STRINGER TO WALL

N.T.S.



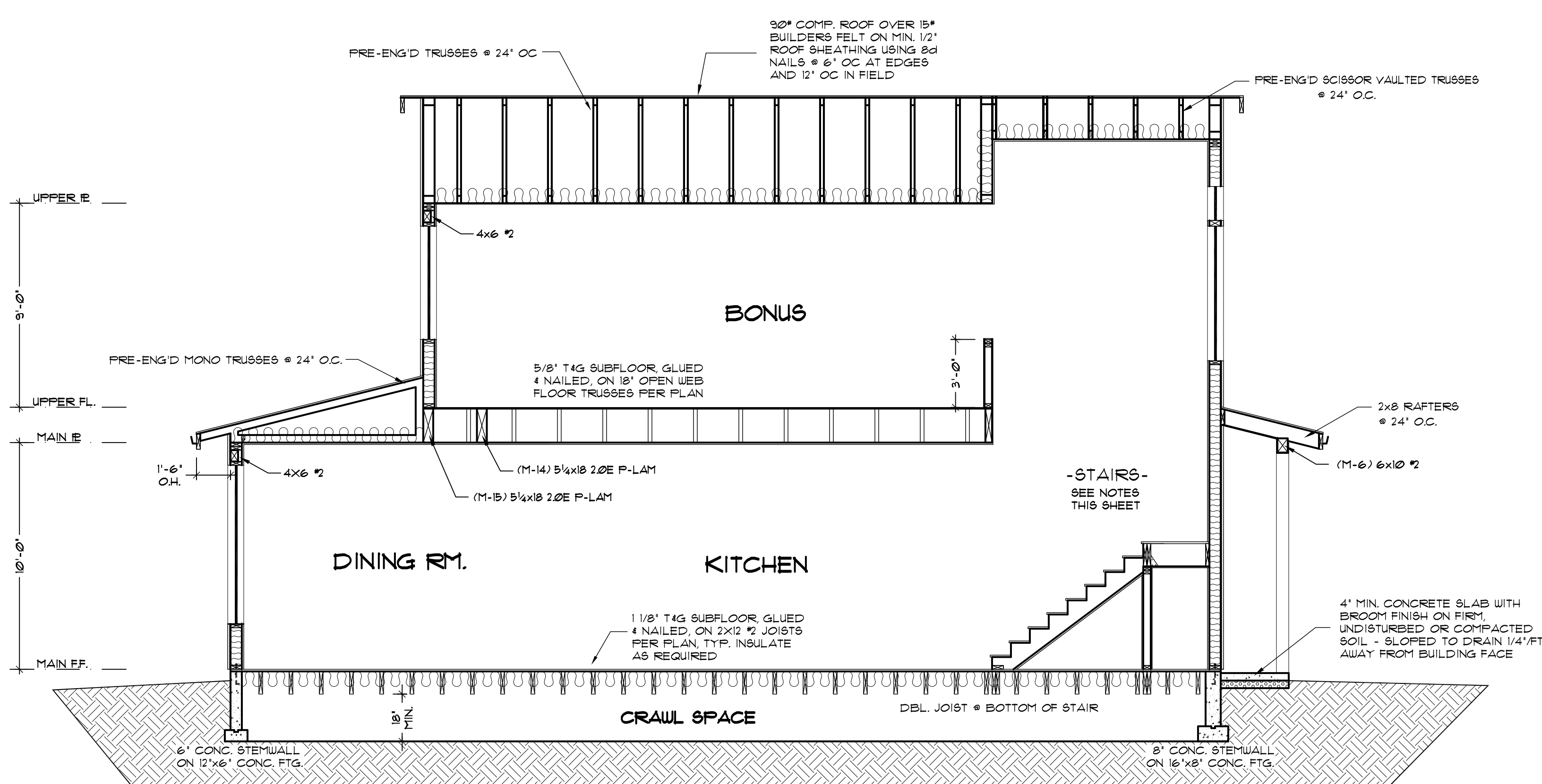
(TYP.) FOOTING DTL. 2-STORY

SCALE: 1/2"=1'-0"



(TYP.) FOOTING DTL. 1-STORY

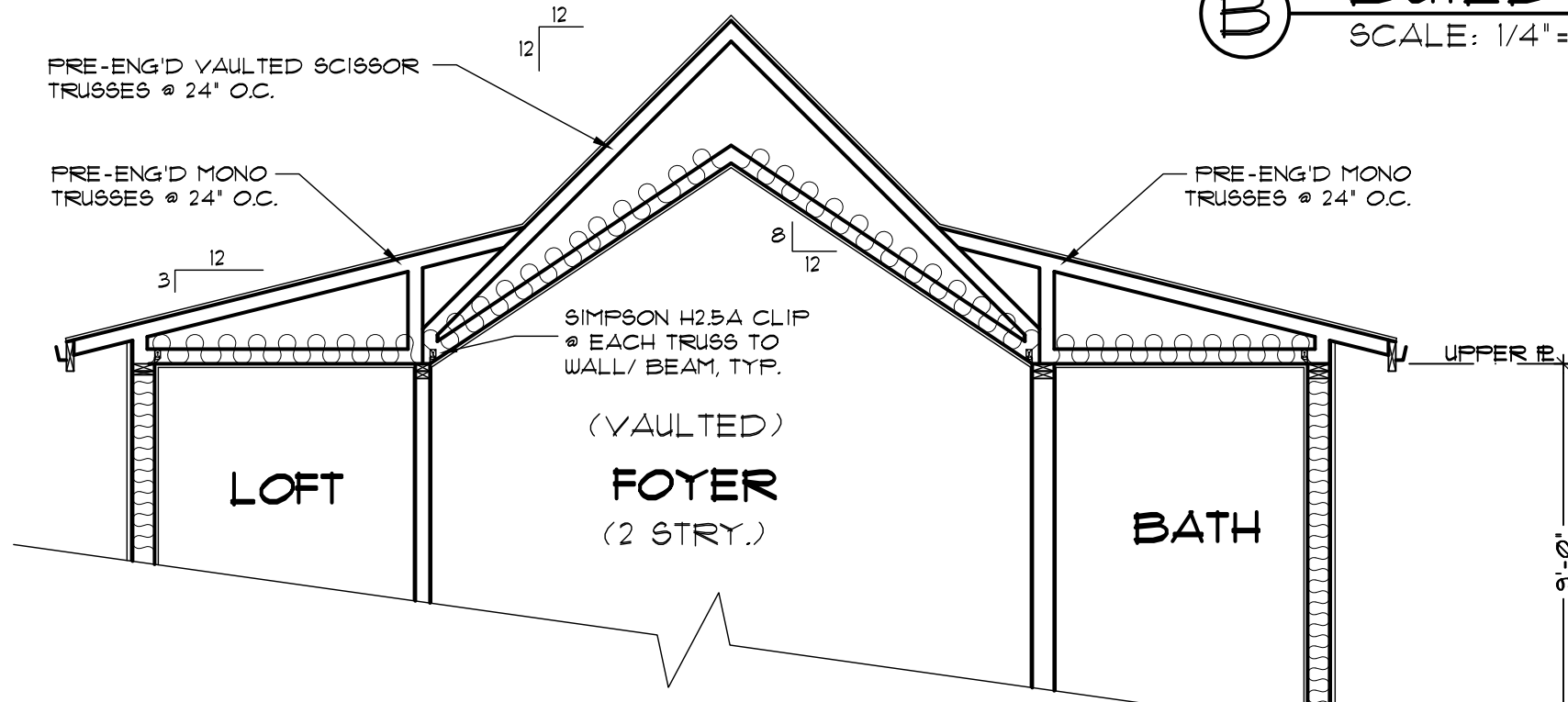
SCALE: 1/2"=1'-0"



BUILDING SECTION

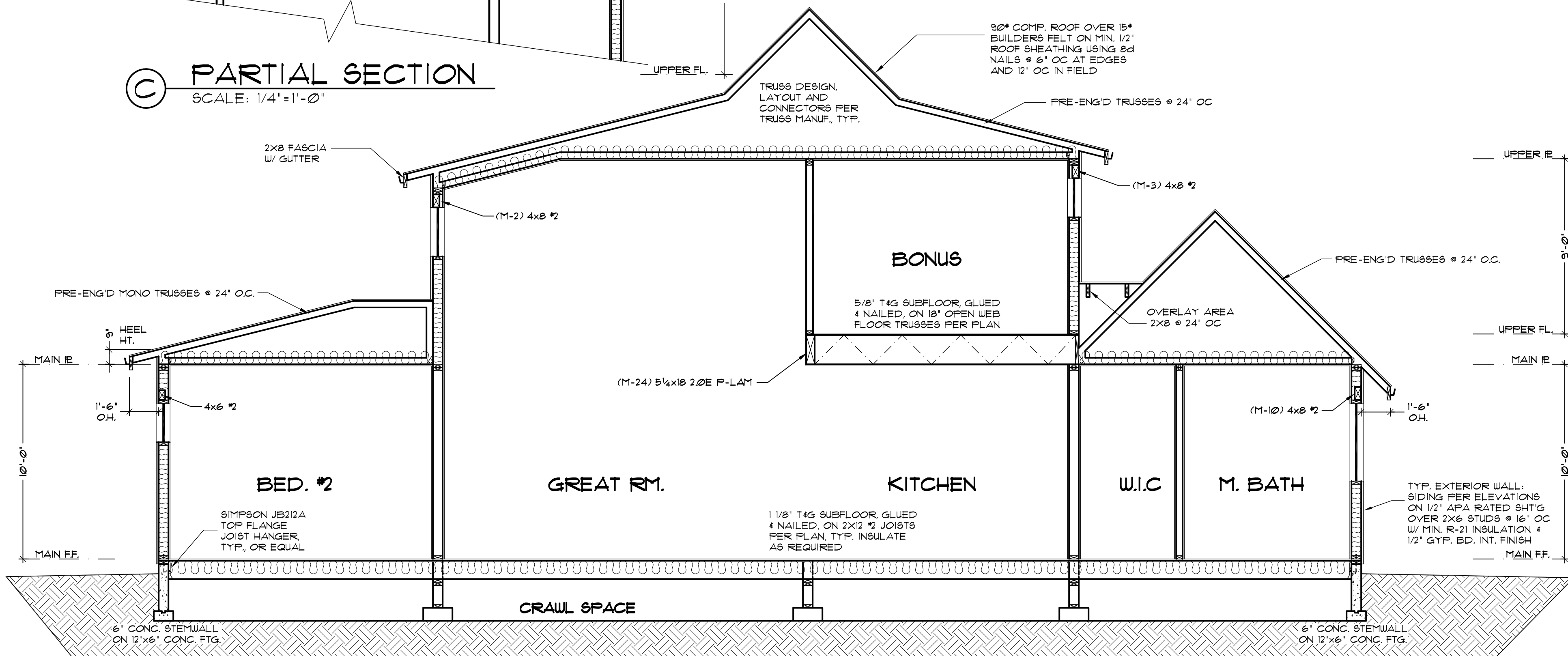
SCALE: 1/4"=1'-0"

SEE SHEET "I" FOR ALL INSULATION
VALUES AND ENERGY CODE TABLE



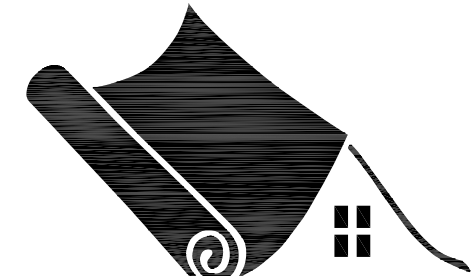
PARTIAL SECTION

SCALE: 1/4"=1'-0"



BUILDING SECTION

SCALE: 1/4"=1'-0"



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ELECTRICAL NOTES:

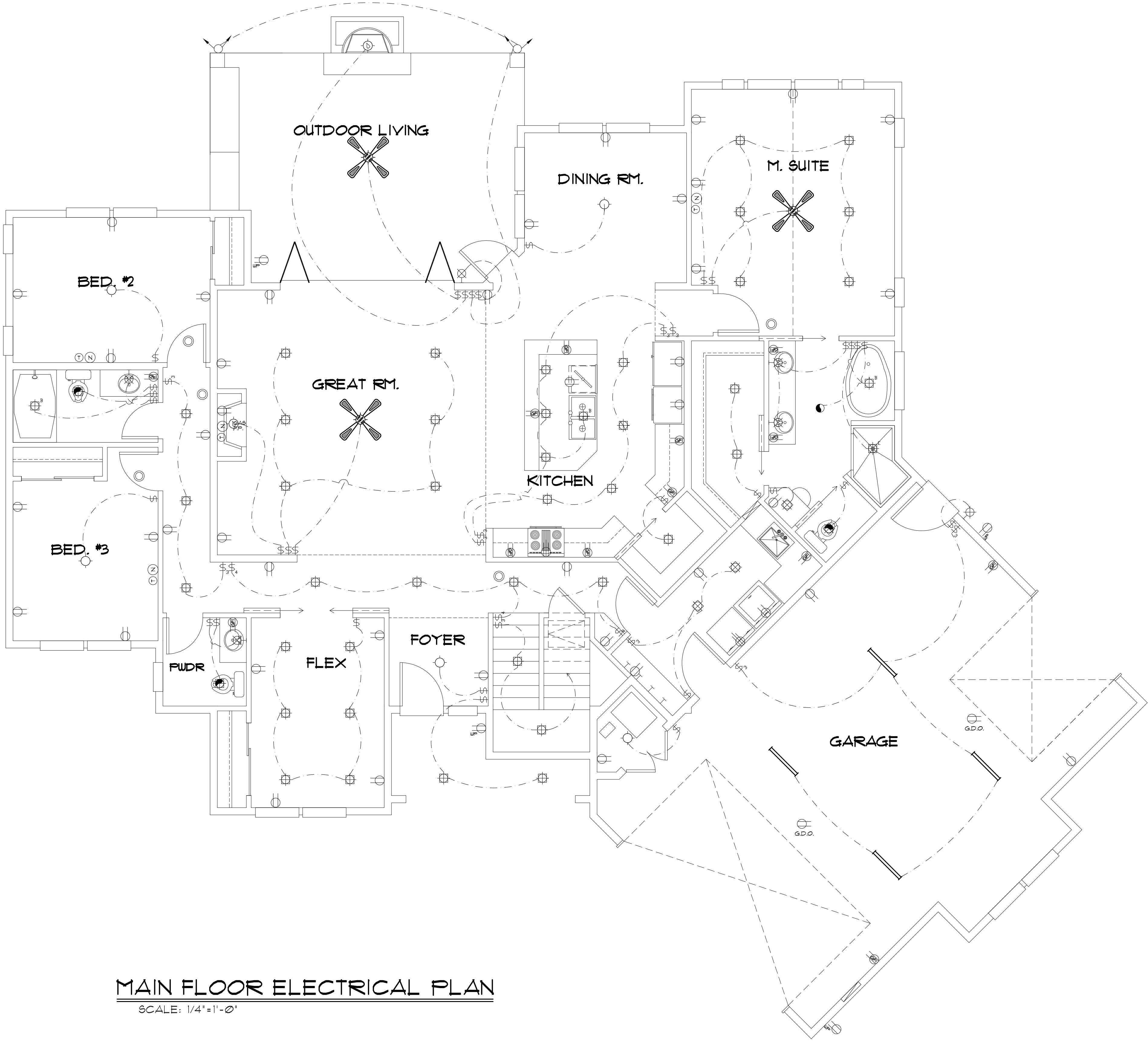
- ALL 125 VOLT, SINGLE-PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED OUTDOORS WHERE THERE IS DIRECT GRADE LEVEL ACCESS, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL PER CODE.
- OUTLET BOXES ON OPPOSITE SIDES OF RATED WALLS (WALL SEPARATING GARAGE FROM DWELLING) SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES PER CODE.
- MAIN SERVICE PANEL ELECTRICAL LOAD CALCULATIONS SHALL CONFORM TO NEC REQUIREMENTS.
- GROUNDING AT SERVICE ENTRANCE TO COMPLY WITH ALL NEC REQUIREMENTS.
- FIXTURES IN CLOSET SHALL MAINTAIN 18" CLEARANCE FROM COMBUSTIBLES PER CODE.
- PROVIDE GFCI PROTECTION PER ALL CODE REQUIREMENTS.
- PLACEMENT/SPACING OF ELECTRICAL OUTLETS:
 - GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS PER CODE.
 - KITCHEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 12 INCHES OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTER TOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES PER CODE.
 - BATHROOMS: AT LEAST ONE WALL RECEPTACLE OUTLET SHALL BE INSTALLED IN THE BATHROOM ADJACENT TO EACH BATHN LOCATION PER CODE.
 - HALLWAYS: HALLWAYS 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET PER CODE.
 - OUTDOORS: AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL SHALL BE INSTALLED AT THE FRONT AND REAR OF THE DWELLING PER CODE.
- SMOKE/CO₂ DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING; BE INSTALLED IN EACH SLEEPING ROOM AND IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND BE EQUIPPED WITH A BATTERY BACKUP PER CODE.
- CONTRACTOR SHALL PROVIDE COMPLIANCE WITH LIGHTING REQUIREMENTS IN KITCHENS & BATHS. (40 LUMENS/WATT)
- SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS MUST BE 18" FROM STORAGE AREA. FLUSH MOUNTED MUST BE 6" AWAY PER CODE.
- INSTALL CARBON MONOXIDE DETECTORS PER CODE AND AS RECOMMENDED BY BUILDER & VERIFIED BY OWNER PER LOCATIONS.

EXHAUST FAN LEGEND	
BATH/SPA FAN =	MIN. 20 CFM INTERMITTANT OR 20 CFM CONTINUOUS
KITCHEN RANGE FAN =	MIN. 150 CFM
POWDER RM. FAN =	MIN. 50 CFM

** ELECTRICAL LEGEND **	
	SINGLE POLE SWITCH
	DBL POLE SWITCH
	TRIPLE POLE SWITCH
	WALL MOUNT FIXTURE
	1C 44N ART
	1C 20 DOWNLIGHT
	1C 20 SHOWER
	SURFACE MOUNT FIXTURE
	(2) LAMP FLUORESCENT LIGHT
	LIGHT/ EXHAUST FAN COMBO
	110 V (DUPLEX)
	220 V OUTLET
	110 V GFI OUTLET
	110 V WATER PROOF OUTLET, GFCI
	GARAGE DOOR OUTLET
	CIRCUIT PANEL
	THERMOSTAT
	110V CO2/SMOKE DETECTOR INTERCONNECT W/ ALL THE SMOKE DETECTORS IN HOUSE -HARD WIRED
	CEILING FAN/LIGHT FIX.
	EXHAUST FAN
	GAS OUTLET
	UNDER CAB. LITE
	STAIR RISER LITE
	MULTI-DIRECTIONAL MOTION ACTIVATED EXTERIOR FLOODLIGHTS

MAIN FLOOR ELECTRICAL PLAN

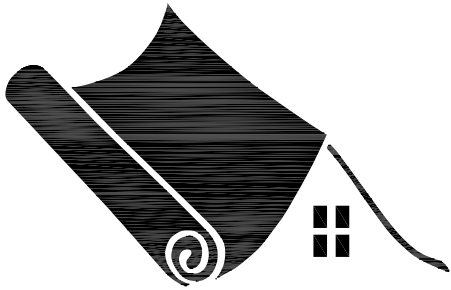
SCALE: 1/4"=1'-0"



ELECTRICAL NOTE:

ALL ELECTRICAL IS TO BE OWNER VERIFIED PRIOR TO CONSTRUCTION & COMPLY WITH CURRENT ELECTRICAL, BUILDING AND FIRE CODES.

Combination smoke/carbon monoxide alarm/detectors shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarm features of combination smoke/carbon monoxide alarm/detectors shall be interconnected.



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ELECTRICAL NOTES:

1.

ALL 125 VOLT, SINGLE-PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED OUTDOORS WHERE THERE IS DIRECT GRADE LEVEL ACCESS, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL PER CODE.
2.

OUTLET BOXES ON OPPOSITE SIDES OF RATED WALLS (WALL SEPARATING GARAGE FROM DWELLING) SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES PER CODE.
3.

MAIN SERVICE PANEL ELECTRICAL LOAD CALCULATIONS SHALL CONFORM TO NEC REQUIREMENTS.
4.

GROUNDING AT SERVICE ENTRANCE TO COMPLY WITH ALL NEC REQUIREMENTS.
5.

FIXTURES IN CLOSET SHALL MAINTAIN 18" CLEARANCE FROM COMBUSTIBLES PER CODE.
6.

PROVIDE GFCI PROTECTION PER ALL CODE REQUIREMENTS.
7.

PLACEMENT/SPACING OF ELECTRICAL OUTLETS:

A)

GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS PER CODE.

B)

KITCHEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 12 INCHES OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTER TOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES PER CODE.

C)

BATHROOMS: AT LEAST ONE WALL RECEPTACLE OUTLET SHALL BE INSTALLED IN THE BATHROOM ADJACENT TO EACH BASIN LOCATION PER CODE.

D)

HALLWAYS: HALLWAYS 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET PER CODE.

E)

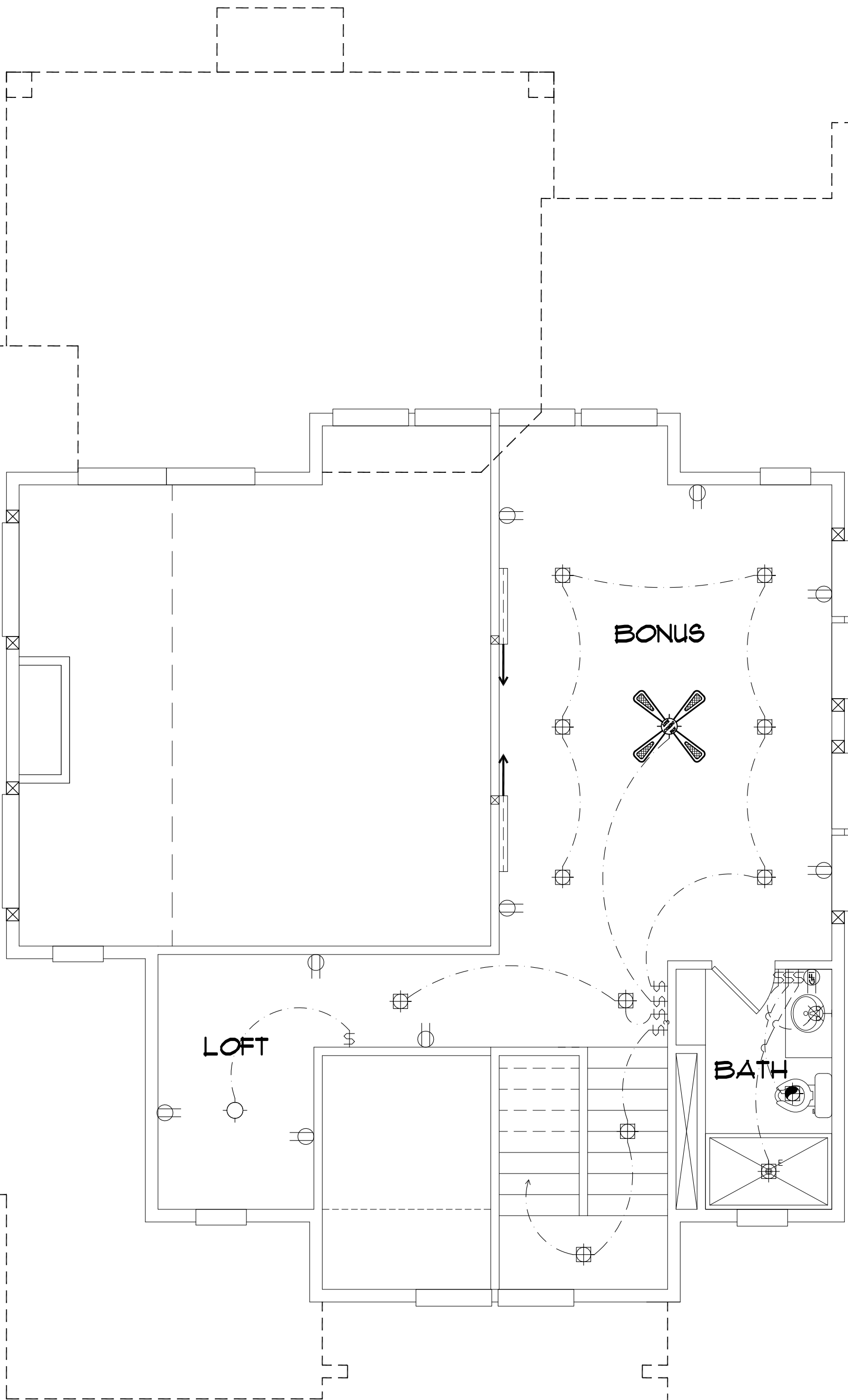
OUTDOORS: AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL SHALL BE INSTALLED AT THE FRONT AND REAR OF THE DWELLING PER CODE.
8.

SMOKE/CO2 DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING: BE INSTALLED IN EACH SLEEPING ROOM AND IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND BE EQUIPPED WITH A BATTERY BACKUP PER CODE.
9.

CONTRACTOR SHALL PROVIDE COMPLIANCE WITH LIGHTING REQUIREMENTS IN KITCHENS & BATHS. (40 LUMENS/WATT)
10.

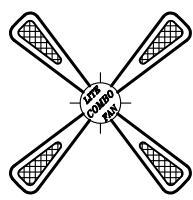
SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS MUST BE 18" FROM STORAGE AREA. FLUSH MOUNTED MUST BE 6" AWAY PER CODE.
11.

INSTALL CARBON MONOXIDE DETECTORS PER CODE AND AS RECOMMENDED BY BUILDER & VERIFIED BY OWNER PER LOCATIONS.



EXHAUST FAN LEGEND

BATH/SPA FAN =	MIN. 80 CFM INTERMITTANT OR 20 CFM CONTINUOUS
KITCHEN RANGE FAN =	MIN. 150 CFM
POUDER RM. FAN =	MIN. 50 CFM

** ELECTRICAL LEGEND **			
	SINGLE POLE SWITCH		CIRCUIT PANEL
	DBL POLE SWITCH		THERMOSTAT
	TRIPLE POLE SWITCH		100V CO2 SMOKE DETECTOR
	WALL MOUNT FIXTURE		INTERCONNECT W/ ALL THE SMOKE DETECTORS IN HOUSE -HARD WIRED
	1C 44W A19		CEILING FAN/LIGHT FIXT.
	1C 20 DOWNLIGHT		
	1C 20 SHOWER		
	SURFACE MOUNT FIXTURE		
	(2) 1 LAMP FLUORESCENT LIGHT		EXHAUST FAN
	LIGHT/ EXHAUST FAN COMBO		GAS OUTLET
	110 V (DUPLEX)		UNDER CAB. LITE
	220 V OUTLET		STAIR RISER LITE
	110 V GFI OUTLET		MULTI-DIRECTIONAL MOTION ACTIVATED EXTERIOR FLOODLIGHTS
	110 V WATER PROOF OUTLET, GFCI		
	GARAGE DOOR OUTLET		

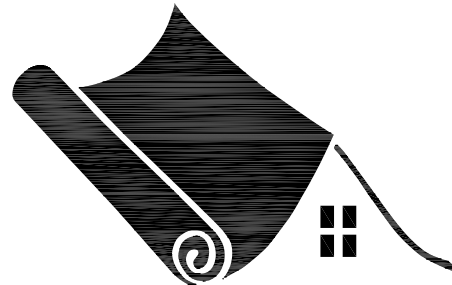
MAIN FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

ELECTRICAL NOTE:

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Combination smoke/carbon monoxide alarm/detectors shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarm features of combination smoke/carbon monoxide alarm/detectors shall be interconnected



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